

# Inspection Checklist

## Rental Properties

### EXTERNAL OF BUILDING:

1. Street numbers visible from the street and minimum of 4" in height
2. Property in a clean, safe, and sanitary condition; no weeds, tire, rubbish, garbage, etc.
3. Window panes on house/garage in good condition
4. Sidewalks and driveway aprons in good repair
5. Natural sloping ground has no standing water (grading & drainage)
6. Roof & chimney in good condition, weather-tight & structurally sound - no tarped roofs
7. Building exterior (i.e., walls, wood trim, flashing, siding) weather-tight & no untreated wood surfaces
8. Gutters & downspouts secure & terminate away from building foundation
9. Stairs and stairwells must be lit
10. **Graspable handrails required** (on external of building as well as internal) on at least one side for the entire length of the stair run where there are four (4) or more risers – *see notes under External item #11*. Handrails to be mounted 34" – 38" to top measured from stair nosing.
11. Decks & porches must be structurally sound and ...
  - a. **guardrails** must be present if more than 30" drop to grade, with rails 36" in height minimum; no openings between rails larger than 4"
  - b. guardrails required on both open sides of stairs if deck or porch is more than 30" above grade
12. Plumbing vents secure, above roofline & at least 5' horizontal distance from windows and 2' above any operable openings (i.e., windows, skylights)
13. Sewer vent capped minimum 6" above grade and all soil line cleanouts (plumbing drain line cleanouts) accessible
14. Mechanical vents (i.e., gas- and oil-burning appliances) must be capped, weather-tight and oriented away from windows and doors
15. Electric service must be grounded, drip loops & service cable in good condition and protected where entering building
16. If there is a swimming pool on the property, there is a required 4'-high enclosure with self-closing, self-latching code-compliant gate
17. GFCI outlets required at all exterior locations

## **INTERNAL OF BUILDING:**

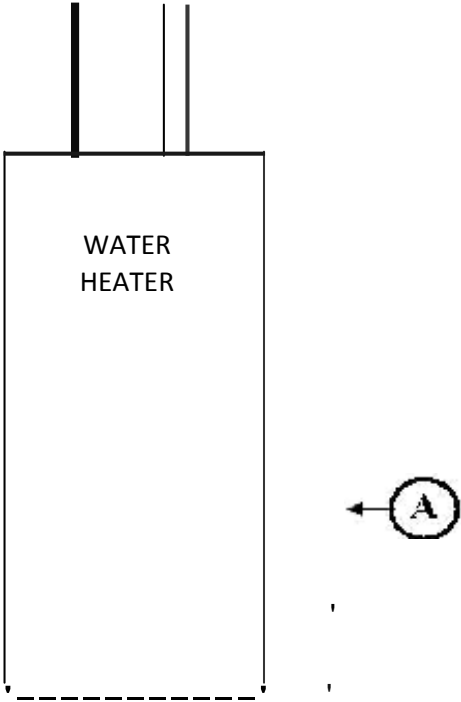
1. Interior walls, fire/party walls and floors must be structurally sound with no holes.
2. Windows & glazing: no cracks or broken windows permitted.
3. No evidence of rat, mouse, cockroach or other pest infestation.
4. Common hallways in apartment buildings must have emergency lighting and no locks or chains on egress (exit) doors
5. Egress doors (including doors into hallways in the case of apartments) cannot have double-cylinder deadbolts (that is, ones that require a key to be opened from the inside)
6. Stairs and stairwells must be lit
7. **Graspable handrails required** (on internal of building as well as external) on at least one side for the entire length of the stair run where there are four (4) or more risers – *see notes under External item #11*
8. Basements must have emergency means of escape (egress) for any areas used as sleeping quarters
9. If there is a sump pump it is not permitted to discharge into the public sewer line, onto sidewalks or neighbors' property
10. Heating, air conditioning and ventilation systems are to be operable with ducts and vents in good condition, and should be serviced as needed
11. Water supply system must have no leaks, fixtures must be operable and shutoff valves installed
12. Drainage, waste and vent system must have no clogs and no leaks in fixtures, pipes or traps
13. Ventilation: There must be operable windows or central heat and air conditioning; fans or operable windows in all bathrooms and powder rooms
14. Water heater and furnace relief valves: Open relief valves prohibited. These must be piped to the drainage system or to another safe location, such as the floor [the open end of which can be no more than six inches (6") above the floor]. *See attached diagram on last page.*

## **INTERNAL OF BUILDING, cont'd :**

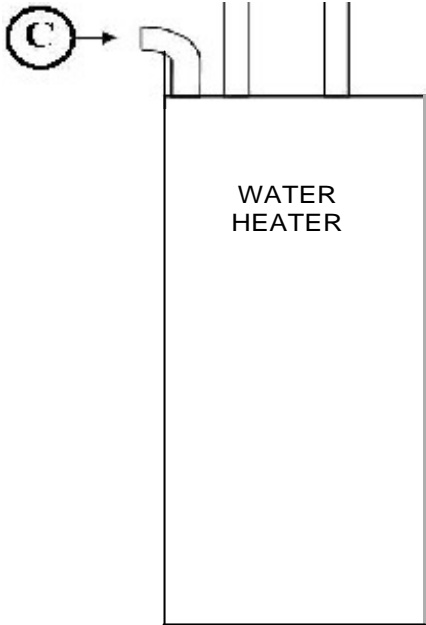
15. Electrical service panel must be accessible, with no openings in breaker or fuse slots, and in good general condition (*NOTE: A Rental Unit Inspection is not an Electrical Certification*)
16. Electrical service boxes and fixtures must be secure and covered (no missing switch or receptacle cover plates); wiring must be in good condition
17. There must be at least one duplex (2-plug) receptacle in each room.
18. Receptacles on kitchen counters, bathroom/powder rooms & at clothes washers (that is, anywhere within 6 feet of a water source), as well as in garages & unfinished basements, must be GFCI
19. All stoves must have anti-tilt clips or levelers.
20. Gas ranges must be fitted with shutoff valves behind the range.
21. Electric ranges must have plug-in electrical connections ... that is, no hard-wired connections
24. There must be at least one working smoke detector in each room used for sleeping purposes plus one working smoke detector on each floor.
25. Smoke alarms are permitted to be solely battery-operated in single-family residential rentals.
26. Hard-wired smoke detector system required in common halls for apartment buildings
27. There must be a fire extinguisher (minimum 2 ½ lb. ABC) displaying a current inspection tag in building with two or more apartments.
28. Clothes dryer exhaust must be ducted to the exterior of the building

\* Though every attempt has been made to include all items on this list that are pertinent at time of printing, periodic changes are made to code that might not be reflected in this list. Nevertheless, properties will be inspected according to code as it is in effect at date of inspection, whether or not it is reflected here.

# RIGHT



# WRONG



Open relief valves prohibited. These must be piped to the drainage system or to another safe location, such as the floor [the open end of which can be no more than six inches (6") above the floor].

This also applies to  
furnace relief valves.